

**City of Cranston
Zoning Board of Review
Application**

Application for exception or variation under the zoning ordinance "City of Cranston Zoning Code, December 1994 Edition as amended."

To: Cranston Zoning Board of Review
35 Sockanosset Crossroad Suite 6
Cranston, RI 02920

Date: June 15, 2022

THE UNDERSIGNED HEREBY APPLIES TO THE ZONING BOARD OF REVIEW FOR AN EXCEPTION OR A VARIATION IN THE APPLICATION OF THE PROVISIONS OR REGULATIONS OF THE ZONING ORDINANCE AFFECTING THE FOLLOWING DESCRIBED PREMISES IN THE MANNER AND ON THE GROUNDS HEREINAFTER SET FORTH.

OWNER: Donna C. Varone

ADDRESS: 147 Southern Street, Cranston, RI ZIP CODE: 02920

APPLICANT: Anthony Carl and Mark Harrington

ADDRESS: 71 Concord Avenue, Cranston, RI ZIP CODE: 02910

LESSEE: _____

ADDRESS: _____ ZIP CODE: _____

1. ADDRESS OF PROPERTY: 0 Connecticut Street

2. ASSESSOR'S PLAT #: 8/1 BLOCK #: _____ ASSESSOR'S LOT #: 2303 WARD: 5
2304
2305

3. LOT FRONTAGE: 60' LOT DEPTH: 80' LOT AREA: 4800 sq. ft.

4. ZONING DISTRICT IN WHICH PROPERTY IS LOCATED: B-1 6,000 sq ft 35 ft
(ZONE) (AREA LIMITATION) (HEIGHT LIMITATION)

5. BUILDING HEIGHT, PRESENT: N/A PROPOSED: two story

6. LOT COVERAGE, PRESENT: -0- PROPOSED: 21%

7. HOW LONG HAVE YOU OWNED THE ABOVE PREMISES? 10/2/75

8. ARE THERE ANY BUILDINGS ON THE PREMISES AT PRESENT? no

9. GIVE SIZE OF EXISTING BUILDING(S): N/A

10. GIVE SIZE OF PROPOSED BUILDING(S): 30' x 34' colonial

11. WHAT IS THE PRESENT USE? vacant land

12. WHAT IS THE PROPOSED USE? single family dwelling

13. NUMBER OF FAMILIES FOR WHICH BUILDING IS TO BE ARRANGED: one

14. DESCRIBE IN DETAIL THE EXTENT OF PROPOSED ALTERATIONS: Build 30'x34' single family dwelling on undersized lot that is presently merged by zoning with adjoining lot with 2 family dwelling
15. HAVE YOU SUBMITTED PLANS TO THE BUILDING OFFICIAL? No
16. WERE YOU REFUSED A PERMIT? No
17. PROVISION OR REGULATION OF THE ZONING ORDINANCE OR STATE ENABLING ACT UNDER WHICH APPLICATION FOR EXCEPTION OR VARIANCE IS MADE.
17.20.010 (schedule of intensity regulations); 17.88.010 (substandard lots of record); 17.92.010 (variances) and all other applicable sections of zoning code
18. STATE GROUNDS FOR EXCEPTION OR VARIANCE IN THIS CASE: Proposed single family home compatible with area. Granting dimensional variance will introduce new housing stock into area.

SIGNATURE OF APPELLANT(S) AND ATTORNEY (IF APPLICABLE) IS REQUIRED AND MUST BE LEGIBLE.

RESPECTFULLY SUBMITTED,

Donna C. Varone
 (OWNER SIGNATURE) Donna C. Varone (PHONE NUMBER)

Anthony Carl
 (OWNER SIGNATURE) (PHONE NUMBER)
 (APPLICANT SIGNATURE) Anthony Carl (401) 640-9300
 (PHONE NUMBER)

Mark Harrington
 (APPLICANT SIGNATURE) Mark Harrington (PHONE NUMBER)

Robert D. Murray, Esq.
 (ATTORNEY SIGNATURE) (401) 946-3800
 (PHONE NUMBER)
 (ATTORNEY NAME-PLEASE PRINT)

ATTORNEY ADDRESS: Taft & McSally LLP 21 Garden City drive, Cranston, RI 02920

PRE-ZONING APPLICATION MEETING: _____ (PLANNING DEPT. SIGNATURE) _____ (DATE)

**City of Cranston
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APPLICANT: Anthony Carl and Mark Harrington

ADDRESS: 71 Concord Avenue, Cranston, RI ZIP CODE: 02910

LESSEE: _____

ADDRESS: _____ ZIP CODE: _____

1. ADDRESS OF PROPERTY: 147 Southern Street

2. ASSESSOR'S PLAT #: 8/1 BLOCK #: _____ ASSESSOR'S LOT #: 2301 WARD: 5

3. LOT FRONTAGE: 80' LOT DEPTH: 60' LOT AREA: 2302 ~~4800~~ 4800 sq. ft.

4. ZONING DISTRICT IN WHICH PROPERTY IS LOCATED: B-1 8,000 sq ft 35 ft
(ZONE) (AREA LIMITATION) (HEIGHT LIMITATION)

5. BUILDING HEIGHT, PRESENT: two story PROPOSED: No change

6. LOT COVERAGE, PRESENT: 16.9% (3 lots) PROPOSED: 16.9%
8.45% (6 lots)

7. HOW LONG HAVE YOU OWNED THE ABOVE PREMISES? 10/2/75

8. ARE THERE ANY BUILDINGS ON THE PREMISES AT PRESENT? Yes

9. GIVE SIZE OF EXISTING BUILDING(S): 26' x 26' +/-

10. GIVE SIZE OF PROPOSED BUILDING(S): No change

11. WHAT IS THE PRESENT USE? two family dwelling

12. WHAT IS THE PROPOSED USE? two family dwelling

13. NUMBER OF FAMILIES FOR WHICH BUILDING IS TO BE ARRANGED: two

14. DESCRIBE IN DETAIL THE EXTENT OF PROPOSED ALTERATIONS: No structural changes.

Owner desires to leave existing two family dwelling that encroaches on corner front and side setback on an undersized lot merged by zoning.

15. HAVE YOU SUBMITTED PLANS TO THE BUILDING OFFICIAL? No

16. WERE YOU REFUSED A PERMIT? No

17. PROVISION OR REGULATION OF THE ZONING ORDINANCE OR STATE ENABLING ACT UNDER WHICH APPLICATION FOR EXCEPTION OR VARIANCE IS MADE.

17.20.010 (schedule of intensity regulations); 17.88.010 (substandard lots of record); 17.92.010 (variances) and all other applicable sections of zoning code.

18. STATE GROUNDS FOR EXCEPTION OR VARIANCE IN THIS CASE: Pre-existing two family dwelling to remain on 4800 sq. ft. lot. Structure and lot size compatible with area.

SIGNATURE OF APPELLANT(S) AND ATTORNEY (IF APPLICABLE) IS REQUIRED AND MUST BE LEGIBLE.

RESPECTFULLY SUBMITTED,

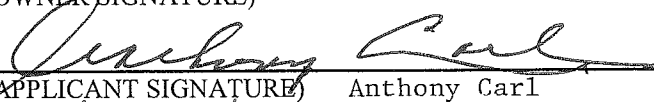


(OWNER SIGNATURE) Donna C. Varone

(PHONE NUMBER)

(OWNER SIGNATURE)

(PHONE NUMBER)



(APPLICANT SIGNATURE) Anthony Carl

(401) 640-9300
(PHONE NUMBER)



(APPLICANT SIGNATURE) Mark Harrington

(PHONE NUMBER)



(ATTORNEY SIGNATURE)

(401) 946-3800
(PHONE NUMBER)

Robert D. Murray, Esq.

(ATTORNEY NAME-PLEASE PRINT)

ATTORNEY ADDRESS: Taft & McSally LLP 21 Garden City drive, Cranston, RI 02920

PRE-ZONING APPLICATION MEETING:

(PLANNING DEPT. SIGNATURE)

(DATE)

DONNA C. VARONE (“OWNER”)
ANTHONY CARL AND MARK HARRINGTON (“APPLICANTS”)

147 Southern Street
0 Connecticut Street
Cranston, RI 02920

PROJECT NARRATIVE

This project narrative is offered in connection with applications of Donna J. Varone as owner and Anthony Carl and Mark Harrington as applicants for permission to unmerge several lots fronting on Connecticut Street to build a single-family home.

Donna C. Varone owns a two-family dwelling at 147 Southern Street that includes Lot Nos. 2300-2305 on Cranston Assessor’s Plat No. 8. The lots are in a B-1 residential zone with a minimum lot size of 6,000 square feet for a single-family dwelling and 8,000 square feet for a two-family dwelling. The six lots total 9,600 square feet with each containing 1,600 square feet.

As proposed, the two-family dwelling fronting on Southern Street (at corner of Connecticut Street) would remain on 4,800 square feet and be retained by Ms. Varone. Lot Nos. 2300, 2301 and 2302 would include the two-family dwelling.

The applicants would acquire Lot Nos. 2303, 2304 and 2305 fronting on Connecticut Street and would construct a single-family home on 4,800 square feet.

Dimensional variances will be sought to allow the existing two-family house on 4,800 square foot lot with the required 60 feet of frontage along Southern Street. The existing structure was built in 1908 and encroaches on the corner lot front setback requirement of twenty-five (25) feet. Along Southern Street, the existing setback is approximately three feet and twenty-two feet on the Connecticut Street side.

The proposed house if constructed as proposed would be on an undersized lot that meets all intensity regulations of frontage and setback.

The following dimensional variances are sought from the Zoning Board of Review

17.20.120 (Schedule of intensity regulations)

- A. The existing two-family house will contain 4,800 square feet and the B-1 zone requires 8,000 square feet for a two-family dwelling.
- B. The existing house encroaches on the required front and corner setback of 25 feet.
- C. The proposed single-family house would be constructed on 4,800 square feet instead of 6,000 square feet.

17.88.010 Substandard lots of record

Permission is ought to unmerge Lot Nos. 2300-2302 from Lot Nos. 2303-2305 on Assessor's Plat No. 8.

17.92.010 Variance for dimensional relief

The hardship from which the applicant seeks relief is due to the unique characteristics of the subject land or structure and not to the general characteristics of the surrounding area; and is not due to a physical or economic disability of the applicant;

The hardship is not the result of any prior action of the applicant and does not result primarily from the desire of the applicant to realize greater financial gain;

The granting of the requested variance will not alter the general character of the surrounding area or impair the intent or purpose of the zoning ordinance codified in this title or the comprehensive plan upon which the ordinance is based; and

The relief to be granted is the least relief necessary.

That the hardship that will be suffered by the owner of the subject property if the dimensional variance is not granted shall amount to more than a mere inconvenience.

DONNA C. VARONE (“OWNER”)
ANTHONY CARL AND MARK HARRINGTON (“APPLICANTS”)
147 Southern Street
0 Connecticut Street
Cranston, RI 02920

NEIGHBORHOOD ANALYSIS

This analysis is compiled to review the land uses and lot sizes within the 400’ radius of the subject application for the property at 147 Southern Street as Lot Nos. 2300-2305 on Assessor’s Plat No. 8.

Please note that the zoning designation is B-1, similar to the subject properties.

<u>TYPES OF LAND USES</u>	<u>NUMBER OF UNITS</u>
SINGLE FAMILY	38
SINGLE FAMILY IN LAW	2
TWO FAMILY	21
FOUR FAMILY	1
MIXED USE	2
LARGE BUSINESS	6
ACCESSORY COMM	7
ACCESSORY IND	13
RESIDENTIAL OTHER	4
RESIDENTIAL UNDEVELOPED	44
INDUSTRIAL MDL	<u>2</u>
EXEMPT CHARTER	1
STATE	<u>1</u>
	144

Of the thirty-eight (38) single family residential lots, the average lot size was 5,195 +/- square feet.

Of the twenty-one (21) two family residential lots, the average lot size was 5,133 +/- square feet.

Please note that this residential analysis did not consider the acreage for the surrounding industrial/ commercial property owned along Park Avenue such as Cranston Welding or the Park Avenue Plaza retail property, the state bike path, Ceilidhe Club or National Grid properties.

The proposed lot to be built on is 4,800 square feet which is slightly smaller than the average single family lot sizes in the 400' radius and neighborhood. The existing house at 147 Southern Street would remain on a 4,800 square feet lot which is slightly smaller than the average single family lot sizes in the 400' radius and neighborhood.

Prepared by:
Robert D. Murray, Esq.
Taft & McSally LLP
21 Garden City Drive
Cranston, RI 02920
(401) 946-3800 (O)
rdmurray@taftmcsally.com

Dated: 6-1-22



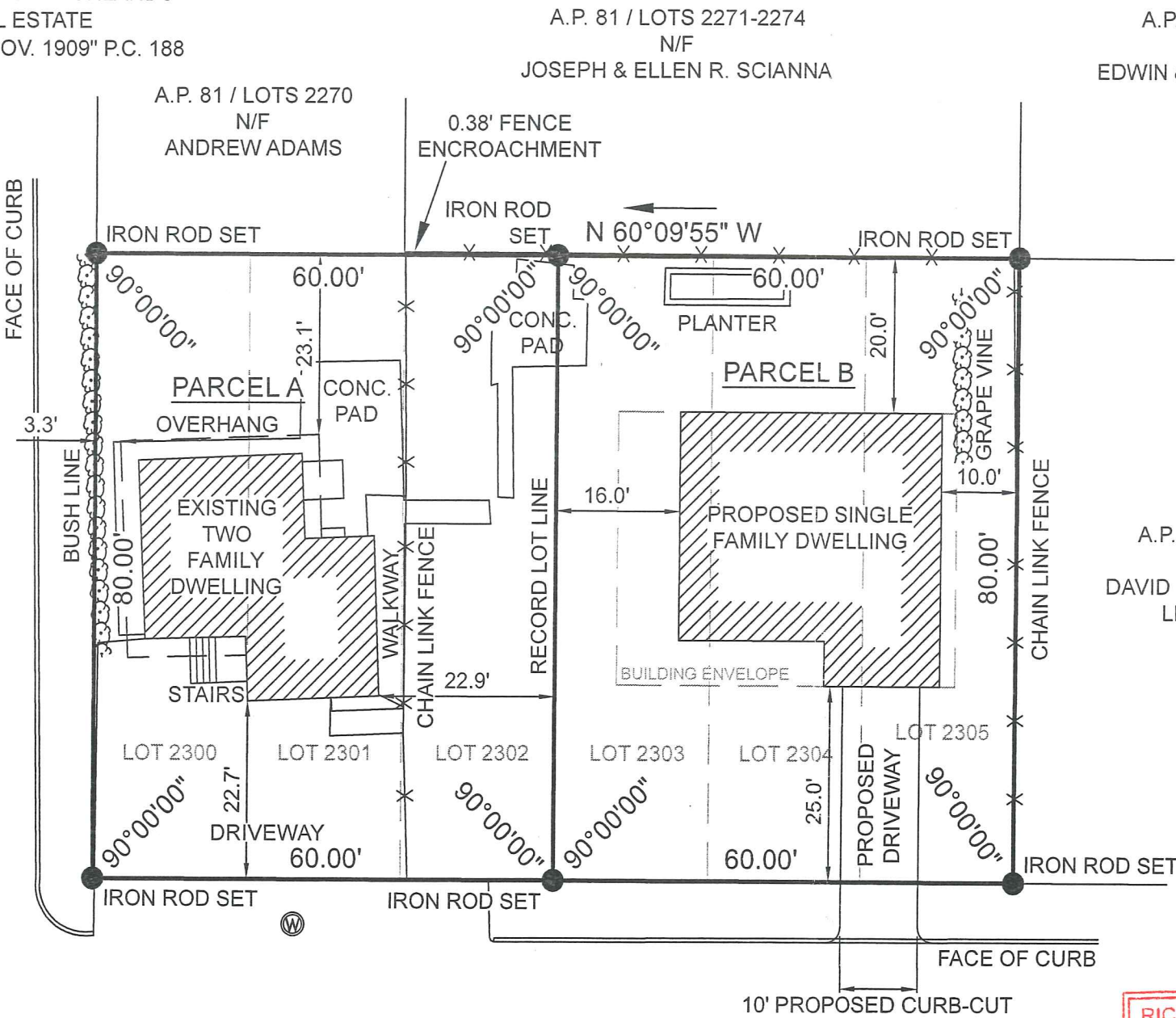




REFERENCE:

1. MORTGAGE BK. 5717 PG. 268
2. DEED BK. 409 PG. 629
3. RECROD LOTS 506-511 ON "CRANSTON HIGHLANDS BELONGING TO THE PROVIDENCE REAL ESTATE IMPROVEMENTS CO. BY. J.A. LATHAM NOV. 1909" P.C. 188

SOUTHERN STREET
(40' PUBLIC)



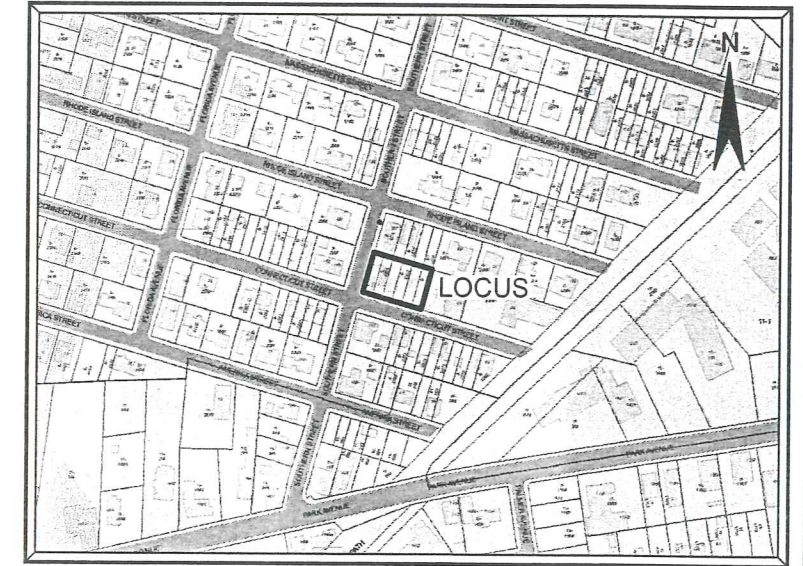
CONNECTICUT STREET
(40' PUBLIC)

A.P. 81 / LOTS 2271-2274
N/F
JOSEPH & ELLEN R. SCIANNA

A.P. 81 / LOTS 2275
N/F
EDWIN & DARLOW DUARTE

A.P. 81 / LOTS 2270
N/F
ANDREW ADAMS

A.P. 81 / LOTS 2296
N/F
DAVID & DONNA SPIRITO
LIVING TRUST



LOCUS MAP

NOT TO SCALE

ZONING DISTRICT B-1

TWO FAMILY

- MINIMUM LOT AREA: 8,000 S.F.
- MINIMUM LOT FRONTAGE: 60 FT.
- MINIMUM SETBACKS: FRONT: 25 FT.
- SIDE: 8 FT.
- REAR: 20 FT.
- MAXIMUM STRUCTURE HEIGHT: 35 FT.
- MAXIMUM LOT COVERAGE: 50%

ZONING PLAN

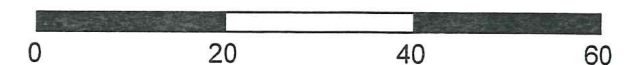
A.P. 81 / LOTS 2300, 2301, 2302, 2303, 2304 & 2305
147 SOUTHERN STREET
CRANSTON, R.I. 02920
SCALE: 1"=20' DATE: JUNE 7, 2022

PREPARED FOR:
ANTHONY CARL & MARK HARRINGTON
71 CONCORD AVENUE, CRANSTON, R.I. 02910
PHONE: (401) 640-9300

PREPARED BY:
OCEAN STATE PLANNERS, INC.
1255 OAKLAWN AVENUE, CRANSTON, R.I. 02920
PHONE: (401) 463-9696 info@osplanners.com

JOB NO. 10290 / DWG. NO. 10290 - ZP - (AJB)

GRAPHIC SCALE: 1" = 20'



SURVEY CLASSIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY:
LIMITED CONTENT BOUNDARY SURVEY

MEASUREMENT SPECIFICATION:
CLASS I

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
TO ESTABLISH AND STAKE RECORD BOUNDARY LINES.

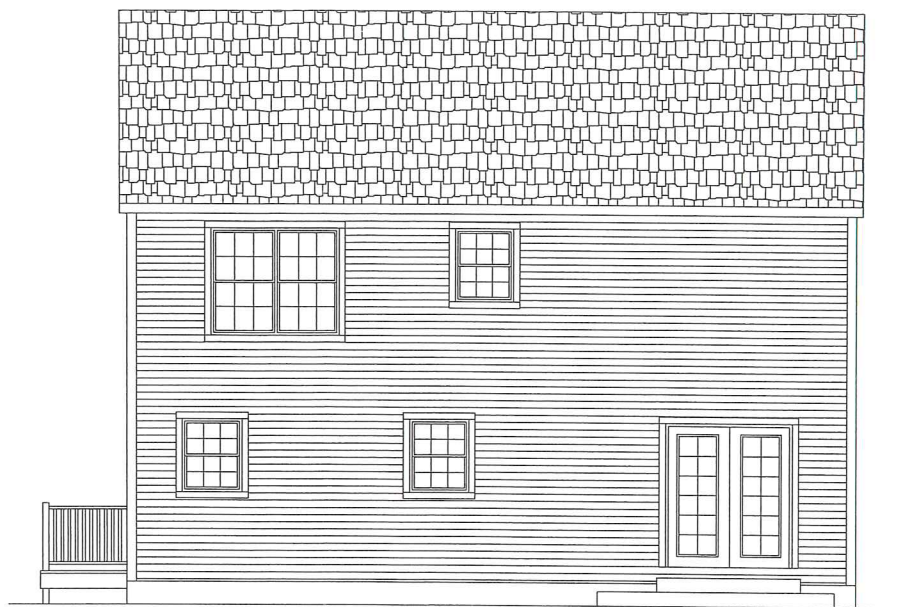
BY: *[Signature]* DATE: 6/07/22
RICHARD T. BZDYRA, PLS; LICENSE #1786; COA # LS-A60

THE FOLLOWING TYPES OF EVIDENCE WERE USED TO CONSTRUCT THIS SURVEY: RECORDED FOUND MONUMENTS IF ANY, NON-RECORDED MONUMENTS, LINES OF POSSESSION, AND OTHER EVIDENCE RELATIVE TO THE DEED OR PLAT. THE BOUNDARY SOLUTION IS THE COMPILATION OF INFORMATION TO DETERMINE THE MOST PROBABLE LOCATION OF THE SURVEYED PARCEL.

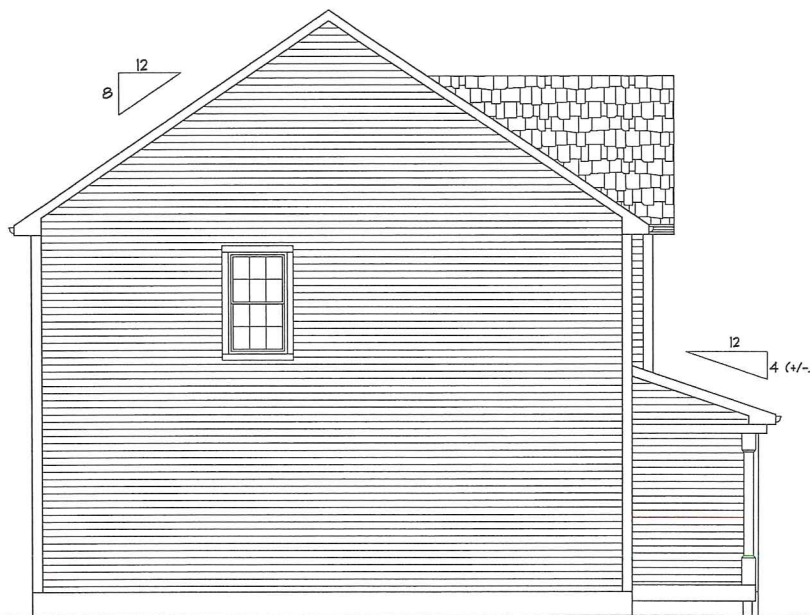




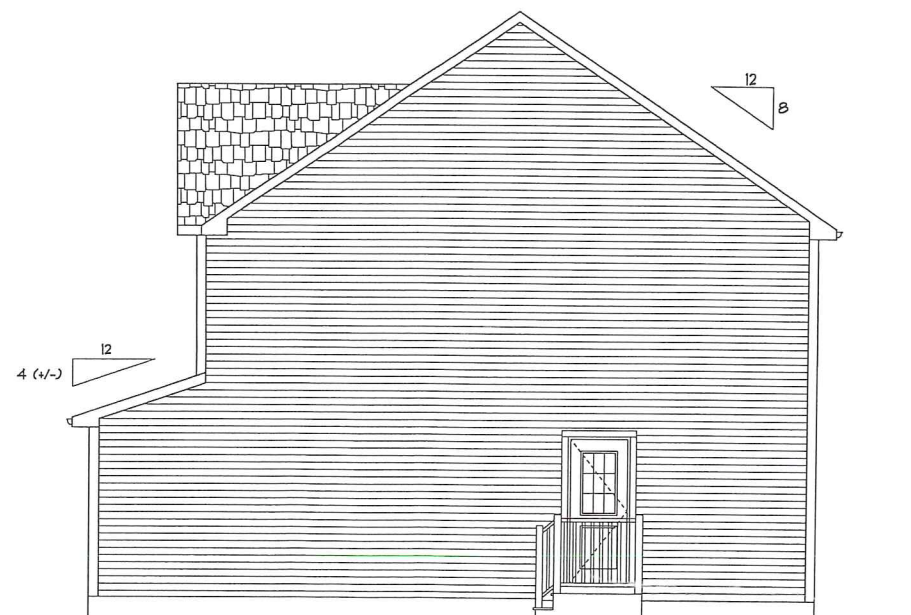
FRONT ELEVATION 1/4"=1'-0"



BACK ELEVATION 1/4"=1'-0"



LEFT SIDE ELEVATION 1/4"=1'-0"

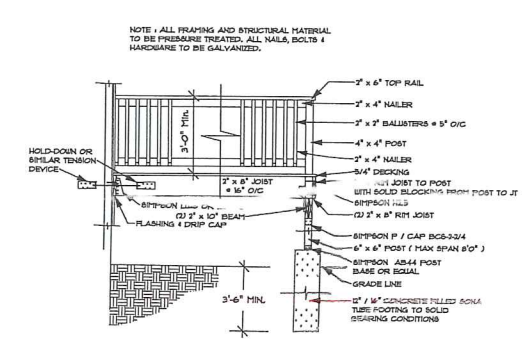


RIGHT SIDE ELEVATION 1/4"=1'-0"

TYPICAL NAILING SCHEDULE
TYPICAL FLOORS
 JOIST TO GILL OR GIRDER, TOE NAIL (3) 8D
 RIM JOIST TO JOIST (3) 16D
 3/4" DECK SHEATHING TO FRAMING 8D COMMON NAIL
 OR 15GA 1 1/2" STAPLE OR 1 1/2" RING OR SCREW SHANK
 NAIL # 6" FROM EDGE 12" O.C.
TYPICAL BUILT-UP GIRDERS AND BEAMS
 NAIL EACH LAYER WITH 10D NAILS # 24" O.C.
 AT TOP AND BOTTOM STAGGERED,
 TWO NAILS AT ENDS AND AT EACH SPLICE.
TYPICAL WALLS
 BOTTOM PLATE TO JOIST 16D # 16" O.C.
 STUD TO BOTTOM PLATE (2) 16D OR (3) 8D
 STUD TO TOP PLATE (2) 16D OR (3) 8D
 DOUBLE TOP PLATE (2) 10D # 24" O.C.
 DOUBLE STUDS (2) 16D OR (3) 8D # 16" O.C.
 PLATE LAPS AT CORNERS AND INTERSECTIONS (4) 10D
 1/2" WALL SHEATHING TO FRAMING 6D OR 15 GA 1 1/2"
 STAPLES OR 1 1/2" RING OR SCREW SHANK NAILS
 # 6" FROM EDGES 12" O.C.
TYPICAL BUILT-UP HEADERS
 TWO PIECES WITH 1/2" SPACER 16D # 16" O.C. ALONG EACH EDGE
TYPICAL ROOFS
 CEILING JOIST TO PLATE, TOE NAIL (3) 8D
 CEILING JOIST LAP OVER PARTITION FACE NAIL (3) 10D
 CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL (3) 10D
 RAFTER TO PLATE, TOE NAIL (2) 16D
 1/2" ROOF SHEATHING TO FRAMING 6D OR 15 GA 1 1/2"
 STAPLES OR 1 1/2" RING OR SCREW SHANK NAILS
 # 6" FROM EDGES 12" O.C.

GENERAL NOTES
 EGRESS WINDOWS IN ALL BEDROOMS
 AS PER CODE
 SMOKE DETECTORS & CARBON MONOXIDE
 AS PER FIRE PROTECTION CODE.
 PROVIDE A 22" X 30" ATTIC ACCESS OPENING.
 ALL DIMENSIONS, NOTES, AND OTHER
 INFORMATION CONVEYED IN THESE
 DRAWINGS FOR CONSTRUCTION PURPOSES
 ARE SUBJECT TO CHANGE AND SHOULD
 BE VERIFIED IN FIELD BY BUILDER /
 CONTRACTOR ACCORDING TO LOCAL AND
 STATE BUILDING CODES/
 THIS DRAFTSPERSON SHALL NOT BE
 RESPONSIBLE FOR ANY CHANGES
 THAT WOULD MAKE THE STRUCTURE
 PHYSICALLY UNSAFE.
 UNFORESEEN SITE CONDITIONS MAY CAUSE
 A DEVIATION FROM THE CONSTRUCTION
 DOCUMENTS AND IS THE RESPONSIBILITY
 OF THE BUILDER / CONTRACTOR TO INSURE
 STRUCTURAL STABILITY AND CONFORMANCE
 TO APPLICABLE CODES.

WOOD ROOF TRUSS SYSTEM
 TO BE DESIGNED, HANDLED, INSTALLED
 AND BRACED IN ACCORDANCE WITH ITPI
 RECOMMENDATIONS. PROVIDE APPROVED
 TRUSS ENGINEERING AND LAYOUT TO
 OWNER AND BUILDING OFFICIAL PRIOR TO
 START OF CONSTRUCTION.



TYPICAL DECK DETAIL #61

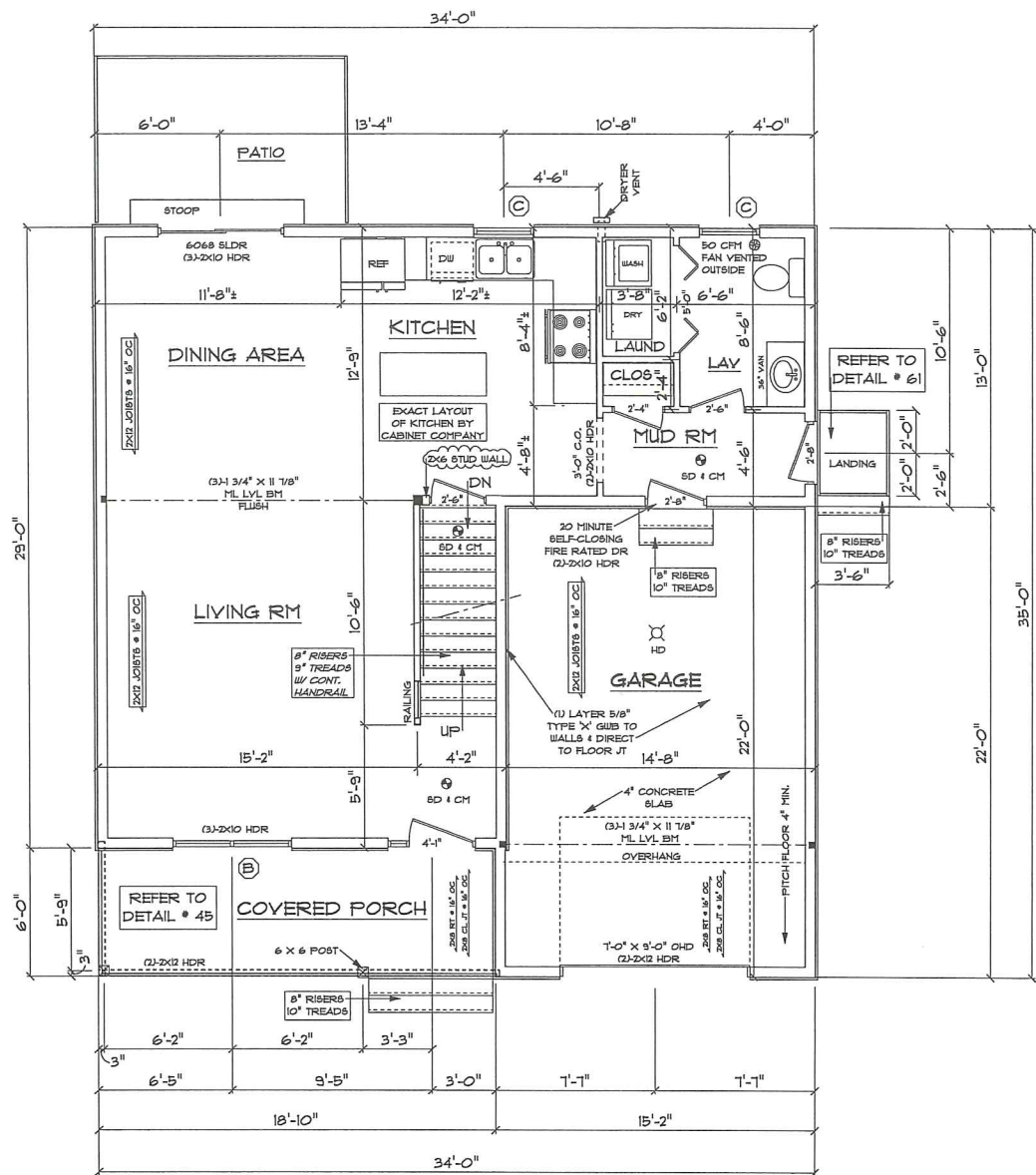
29 X 34 COLONIAL
 PREPARED FOR:
 MARK HARRINGTON & ANTHONY CARL
 LOTS 82300 & 82302, 0 CONNECTICUT ST
 CRANSTON, RHODE ISLAND

CONSTRUCTION PLANS ARE DRAFTED
 FOR SINGLE USE ONLY
 DLR DIMENSIONS, INC
 DOES NOT PERMIT THE USE OF PLANS
 THAT HAVE BEEN TAMPERED WITH
 BY OUTSIDE PARTIES

EST. 1985
DLR DIMENSIONS
 RESIDENTIAL DESIGNERS & CONSULTANTS
 401.738.3156
 DLRDIMENSIONS.COM

DLR DIMENSIONS, INC.
 IS NOT RESPONSIBLE FOR
 ANY CHANGES TO NOTES,
 AND/OR DIMENSIONS,
 AND/OR CONTRACTOR
 MUST VERIFY ALL
 DIMENSIONS AND
 INQUIRE COMPLIANCE WITH
 LOCAL CODES
 PRIOR TO AND
 DURING CONSTRUCTION.

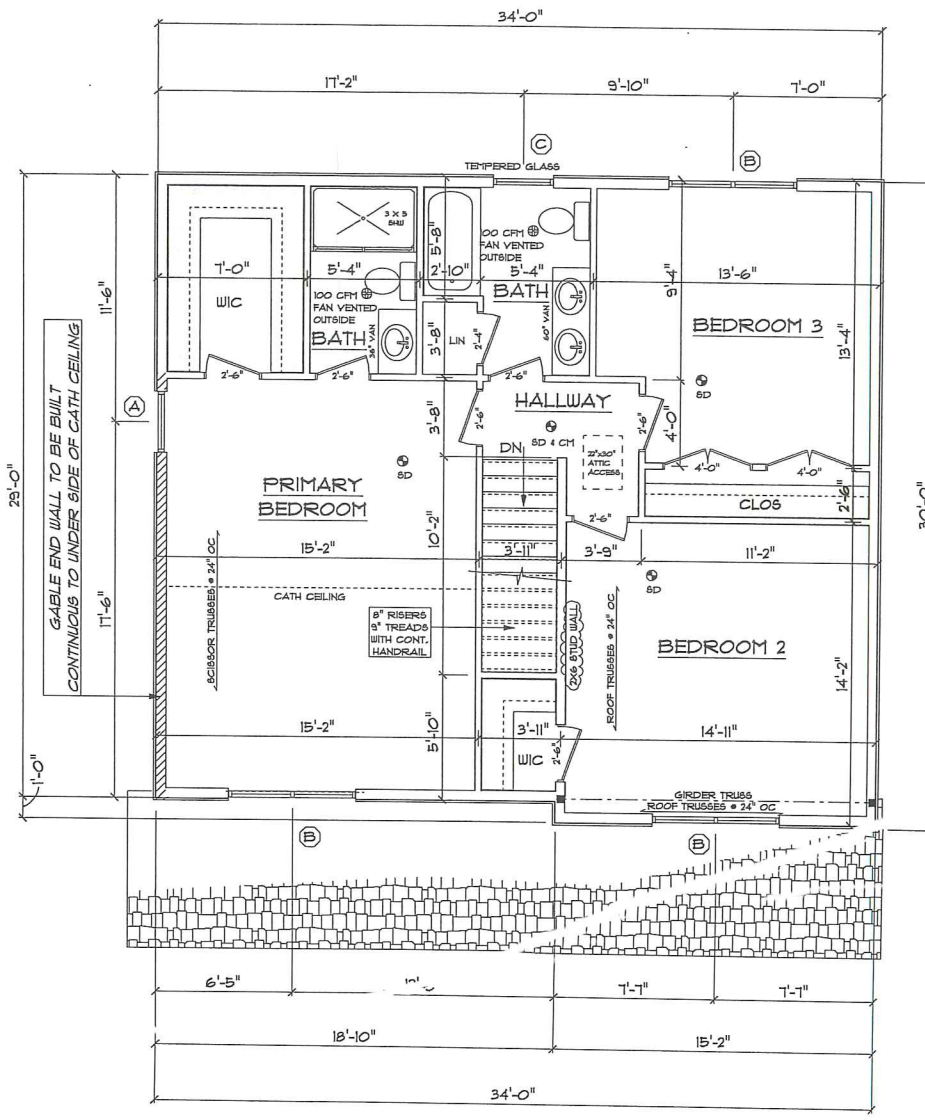
SCALE NOTED
DATE Monday, May 16, 2022
APPROVED DRR
DRAWN BY DRR
DRAWING NUMBER 6652



FIRST FLOOR PLAN 1/4"=1'-0"

• POINT LOAD FROM ABOVE
 PROVIDE THE FOLLOWING:
 1) SOLID BLOCKING BETWEEN BEAM (OR SILL) AND PLYWOOD SUBFLOOR
 2) A MINIMUM OF THREE STUDS IN A BEARING WALL AS BEAM JACKS

2X6 STUDS @ 16" OC
 AT ALL EXTERIOR WALLS
 UNLESS OTHERWISE NOTED



SECOND FLOOR PLAN 1/4"=1'-0"

• POINT LOAD FROM ABOVE
 PROVIDE THE FOLLOWING:
 1) SOLID BLOCKING BETWEEN BEAM (OR SILL) AND PLYWOOD SUBFLOOR
 2) A MINIMUM OF THREE STUDS IN A BEARING WALL AS BEAM JACKS

2X6 STUDS @ 16" OC
 AT ALL EXTERIOR WALLS
 UNLESS OTHERWISE NOTED

LEGEND:

- SOLID BEARING TO FOUNDATION
- TG TEMPERED GLASS
- SD SMOKE DETECTOR
- SD + CH SMOKE DETECTOR & CARBON MONOXIDE
- HE HOT WATER
- HU HEATING UNIT/ BOILER
- 100 CFM FAN VENTED TO OUTSIDE
- HD HEAT DETECTOR
- WC WALK IN CLOSET
- MC MAKE UP COUNTER
- BEARING WALL
- NEW EXTERIOR WALL
- NEW INTERIOR WALL
- EXISTING EXTERIOR WALLS TO REMAIN
- EXISTING INTERIOR WALLS TO REMAIN
- EXISTING TO BE REMOVED
- Ⓐ WINDOW UNIT NUMBER
- Ⓛ DOOR UNIT NUMBER

WINDOW SCHEDULE

ALL HEADERS TO 2" X 10" TYPICAL HEADER HEIGHT = 6'-10"
 (EXCEPTIONS ARE NOTED ON PLANS)
 ALL LUMBER SPECIES FOR HEADERS, JOISTS, RAFTERS, HEADERS AND BEAMS TO BE KD SPRUCE NO. 2 OR BETTER.
 ALL LOADS FOR FLOOR JOISTS, RAFTERS, HEADERS AND BEAMS ARE BASED ON THE FOLLOWING:
 FLOOR JOISTS LIVING AREAS: 40 psf LIVE LOAD 20 psf DEAD LOAD
 FLOOR JOISTS SLEEPING AREAS: 30 psf LIVE LOAD 20 psf DEAD LOAD

UNIT	ROUGH OPENING	TYPE	QTY	AREA / SILL H/F	NET AREA	DESIGN PRESSURE
A	3'-2" X 8'-4" V2"	DH	1	15.9 / 7'-9"	5.80	30
B	6'-2" V4" X 8'-4" V2"	DH PNL	4	30.0 / 7'-9"	5.80 EA	30
C	2'-8" V2"	DH	3	9.5 / 7'-9"	3.31	30
D						
E						
F						
G						
H						
I						

DOOR SCHEDULE

TYPICAL HEADERS TO 2" X 10" TYPICAL HEADER HEIGHT = 6'-10"
 (EXCEPTIONS ARE NOTED ON PLANS)
 INTERIOR AND EXTERIOR DOOR SIZES ARE NOTED ON PLANS.
 INTERIOR DOORS: 6'-10" HIGH (TYPICAL)
 EXTERIOR DOORS: 6'-10" HIGH (TYPICAL)

UNIT	ROUGH OPENING	TYPE	QTY	AREA / SILL H/F	NET AREA	DESIGN PRESSURE

DESIGN PRESSURE

WIND ZONE	WIND EXPOSURE	HEIGHT (MAX)	DESIGN PRESSURE REQUIRED	DESIGN PRESSURE PROVIDED
B	B	35'-0"	10.0 / -19.5	30

THESE DRAWINGS ARE IN ACCORDANCE WITH THE FOLLOWING DESIGN CRITERIA.

- RIBEC - 2 - 2019
- WIND DESIGN: ZONE 1 (100 MPH)
- LOAD DESIGN: 40 PSF LIVING AREA LOADS
30 PSF SLEEPING AREA LOADS
20 PSF DEAD L.O. L.O.B
20 PSF ATTIC LOADS
60 PSF EXTERIOR DECK LOADS
30 PSF SNOW LOADS
- FROST DEPTH: MINIMUM 3'-6" DEEP
- CLIMATE ZONE: 5
- CONSTRUCTION TYPE: 2B
- BUILDING HEIGHT: (MAXIMUM 35'-0") MEASURED FROM TOP OF FOUNDATION TO RIDGE
- ALL INSULATION IN EXTERIOR WALLS ARE BASED ON THE MINIMUMS AS PER THE PRESCRIPTIVE METHOD OF TABLE N102.2.1 OF THE ENERGY CONSERVATION CODES.

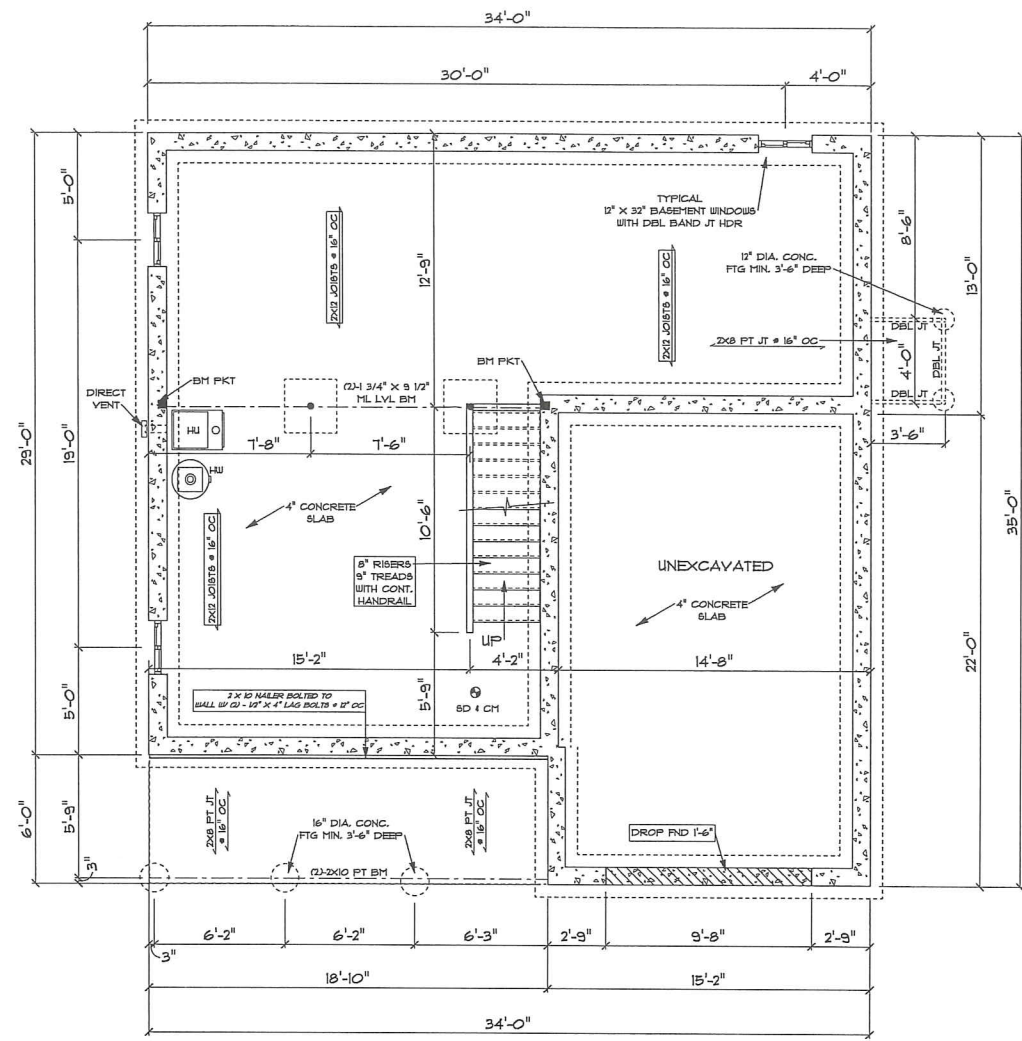
29 X 34 COLONIAL
 PREPARED FOR:
 MARK HARRINGTON & ANTHONY CARL
 LOTS 82500 & 82502, O CONNECTICUT ST
 CRANSTON, RHODE ISLAND

CONSTRUCTION PLANS ARE DRAFTED FOR SINGLE-USE ONLY
 DLR DIMENSIONS, INC
 DOES NOT PERMIT THE USE OF PLANS THAT HAVE BEEN TAMPERED WITH BY OUTSIDE PARTIES

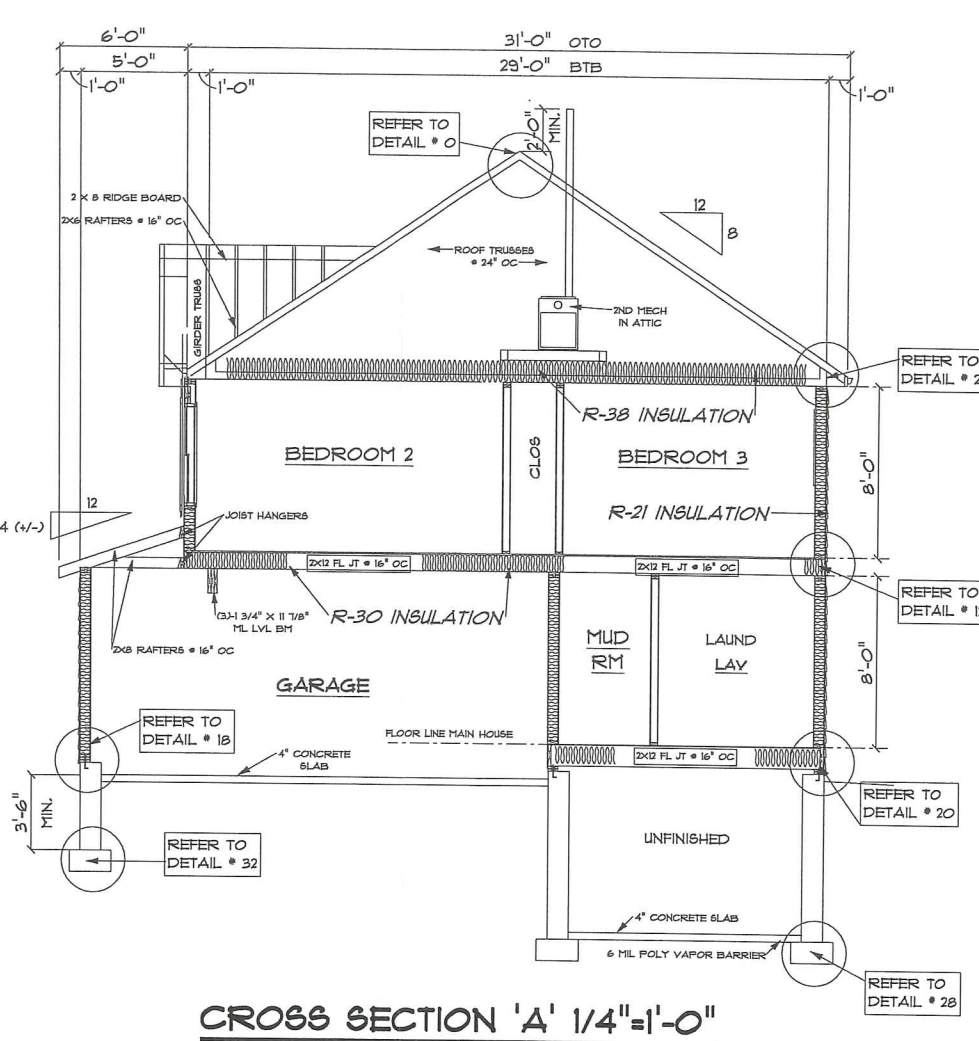
EST. 1985
DLR DIMENSIONS
 RESIDENTIAL DESIGNERS & CONSULTANTS
 401.738.3156
 DLRDIMENSIONS.COM

DLR DIMENSIONS, INC. IS NOT LIABLE FOR ANY CHANGES TO NOTES, BUILDING CONTRACTOR, ALL DIMENSIONS AND MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL CODES AND REGULATIONS DURING CONSTRUCTION.

SCALE NOTED
 DATE Monday, May 16, 2022
 APPROVED DRR
 DRAWN BY DRR
 DRAWING NUMBER 6652

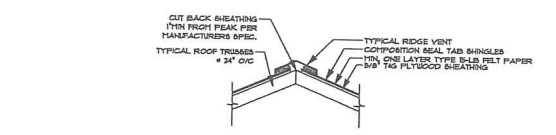


FOUNDATION PLAN 1/4"=1'-0"

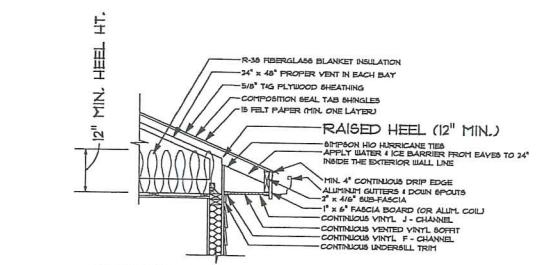


CROSS SECTION 'A' 1/4"=1'-0"

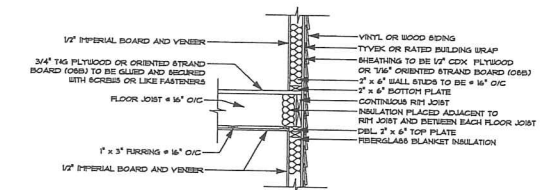
2X6 STUDS @ 16" OC
AT ALL EXTERIOR WALLS
UNLESS OTHERWISE NOTED



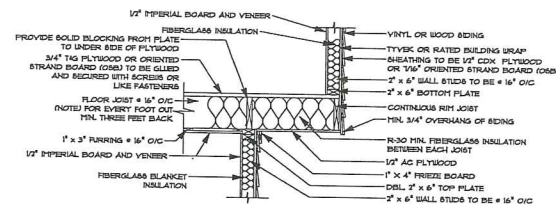
TYPICAL RIDGE W/ TRUSSES DETAIL #0
INSULATION IS NOT REQUIRED IN GARAGE UNLESS OTHERWISE NOTED IN PLANS



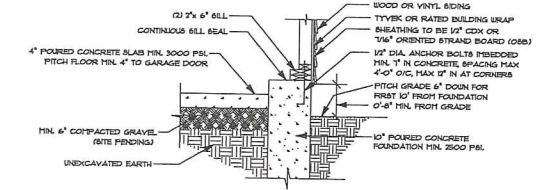
TYPICAL TRUSS W/ VINYL SOFFIT DETAIL #2
INSULATION (4 RAISED HEEL) NOT REQUIRED IN GARAGE UNLESS OTHERWISE NOTED IN PLANS



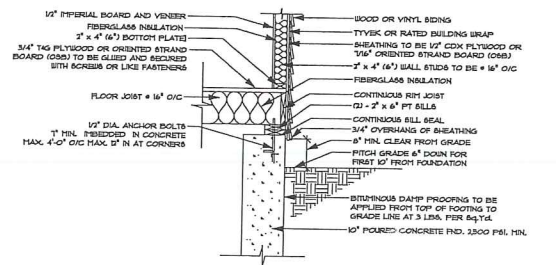
TYPICAL WALL TO FLOOR TO WALL DETAIL #12



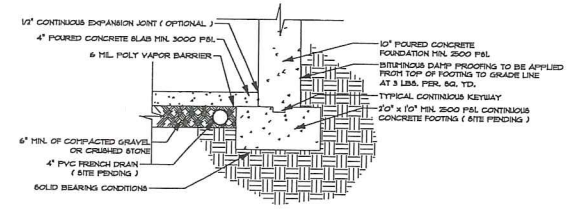
TYPICAL WALL TO FLOOR TO WALL CANTILEVER DETAIL #14



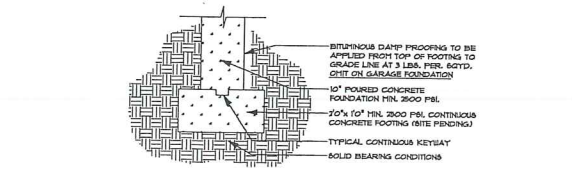
TYPICAL GARAGE WALL TO FOUNDATION DETAIL #18
INSULATION IS NOT REQUIRED IN GARAGE UNLESS OTHERWISE NOTED IN PLANS



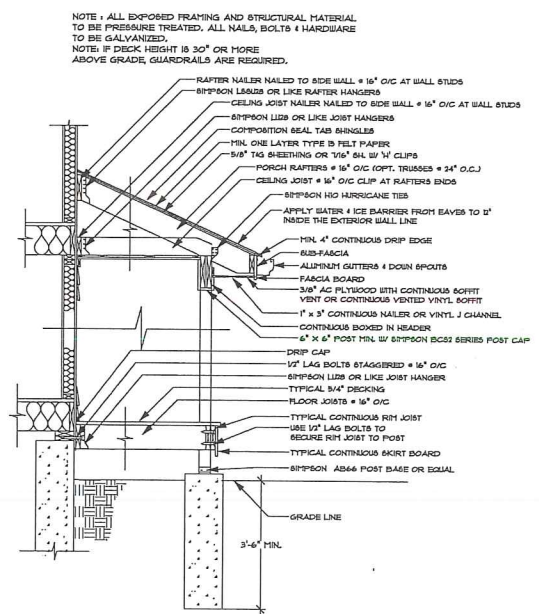
TYPICAL FLOOR TO FOUNDATION DETAIL #20



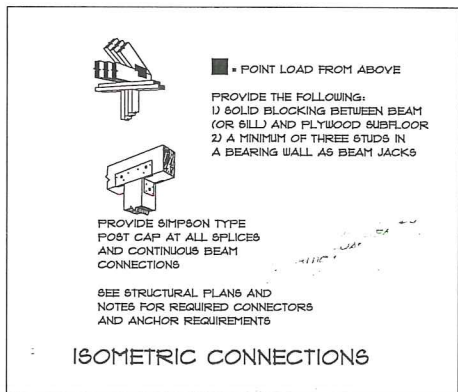
TYPICAL FOOTING W/ FLOOR DETAIL #28
INSULATION IS NOT REQUIRED IN GARAGE UNLESS OTHERWISE NOTED IN PLANS



TYPICAL FOOTING DETAIL #32
INSULATION IS NOT REQUIRED IN GARAGE UNLESS OTHERWISE NOTED IN PLANS



TYPICAL PORCH ROOF WITH DECK DETAIL #45



ISOMETRIC CONNECTIONS

NOTE: ALL EXPOSED FRAMING AND STRUCTURAL MATERIAL TO BE PRESSURE TREATED. ALL NAILS, BOLTS & HARDWARE TO BE GALVANIZED.
NOTE: IF DECK HEIGHT IS 30" OR MORE ABOVE GRADE, GUARDRAILS ARE REQUIRED.

• POINT LOAD FROM ABOVE
PROVIDE THE FOLLOWING:
1) SOLID BLOCKING BETWEEN BEAM (OR SILL) AND PLYWOOD SUBFLOOR
2) A MINIMUM OF THREE STUDS IN A BEARING WALL AS BEAM JACKS

PROVIDE SIMPSON TYPE POST CAP AT ALL SPLICES AND CONTINUOUS BEAM CONNECTIONS

SEE STRUCTURAL PLANS AND NOTES FOR REQUIRED CONNECTORS AND ANCHOR REQUIREMENTS

29 X 34 COLONIAL
PREPARED FOR:
MARK HARRINGTON & ANTHONY CARL
LOTS 82500 & 82302, 0 CONNECTICUT ST
CRANSTON, RHODE ISLAND

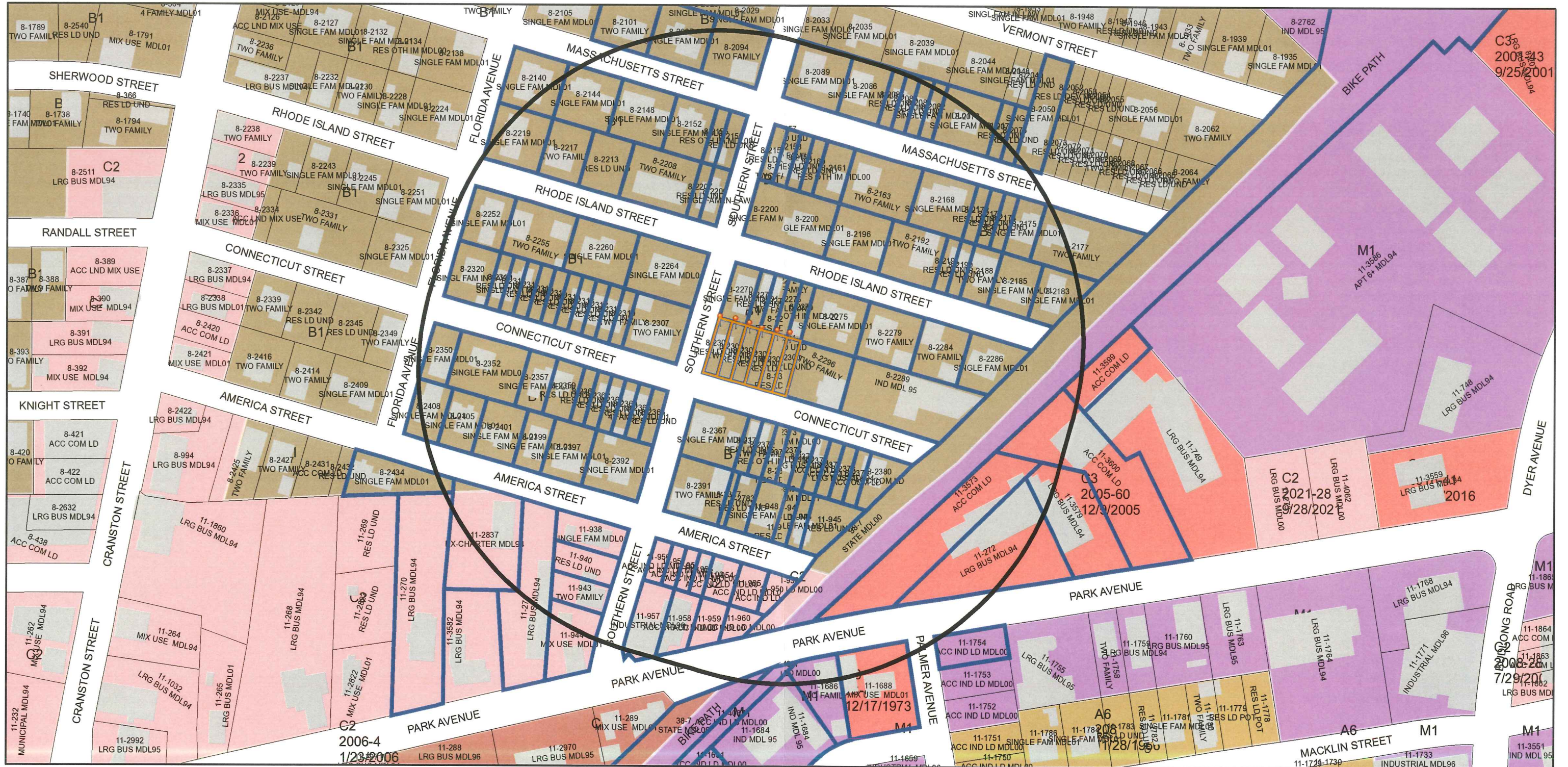
CONSTRUCTION PLANS ARE DRAFTED FOR SINGLE-USE ONLY
DLR DIMENSIONS, INC
DOES NOT PERMIT THE USE OF PLANS THAT HAVE BEEN TAMPARED WITH BY OUTSIDE PARTIES

EST. 1985
DLR DIMENSIONS
RESIDENTIAL DESIGNERS & CONSULTANTS
401.738.3156
DLRDIMENSIONS.COM

DLR DIMENSIONS, INC. IS NOT LIABLE FOR CHANGES TO NOTES, DIMENSIONS, MATERIALS, BUILDING CONTRACTOR MUST VERIFY ALL DIMENSIONS AND MAKE CORRECTIONS WITH LOCAL CODES PRIOR TO AND DURING CONSTRUCTION.

SCALE NOTED
DATE Monday, May 16, 2022
APPROVED DRR
DRAWN BY DRR
DRAWING NUMBER 6652

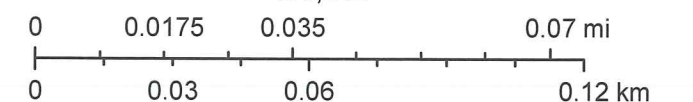
147 Southern St 400' Radius Plat 8 Lot 2300-2305



6/6/2022, 9:54:59 AM

1:1,637

- | | | | | | | | | |
|-------------------|-----------|---------------------------|--|----|--|----|--|-------|
| Parcel ID Labels | | Historic Overlay District | | A8 | | C3 | | MPD |
| Streets Names | | Zoning | | A6 | | C4 | | S1 |
| — | | none | | B1 | | C5 | | Other |
| | Parcels | A80 | | B2 | | M1 | | |
| | Buildings | A20 | | C1 | | M2 | | |
| Zoning Dimensions | | A12 | | C2 | | EI | | |



City of Cranston